

OVER
LOOKING

VIEWS

NOISE
SOURCE

PRIVATE
OPEN
SPACE

DENOTES AREA DEDICATED
FOR PRIVATE OPEN SPACE

DENOTES LANDSCAPING
BEHIND BUILDING LINE

DENOTES EXISTING TREE'S
TO REMAIN

DENOTES EXISTING TREE'S
TO BE REMOVED

DENOTES RETAINING
WALL BY OWNER

DENOTES SILT
FENCE BARRIER

DENOTES DROPPED
EDGE BEAM

DENOTES LINE OF
BATTER TO CUT
OR FILL

STORMWATER TO DISCHARGE INTO DESIGNATED DISCHARGE POINT AS REQUIRED OR NOMINATED

SEWER TO LOCAL AUTHORITIES REQUIREMENTS.

ALL GROUND LINES ARE TO BE VERIFIED ON-SITE BY THE BUILDER.

FINAL LOCATION OF BUILDINGS TO BE VERIFIED ON-SITE BY A REGISTERED SURVEYOR.

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALING. ANY PLAN DISCREPANCIES TO BE REFERRED BACK TO A&N DESIGN BEFORE PROCEEDING

STRUCTURAL ELEMENTS SHOWN ON PLANS ARE TO BE USED AS A GUIDE ONLY. FINAL LOCATIONS AND SIZES OF STRUCTURAL ELEMENTS TO BE AS PER ENGINEER'S AND/OR MANUFACTURER'S SPECIFICATIONS. ANY DISCREPANCIES ARE TO BE CHECKED AND VERIFIED BY BUILDER PRIOR TO COMMENCING CONSTRUCTION

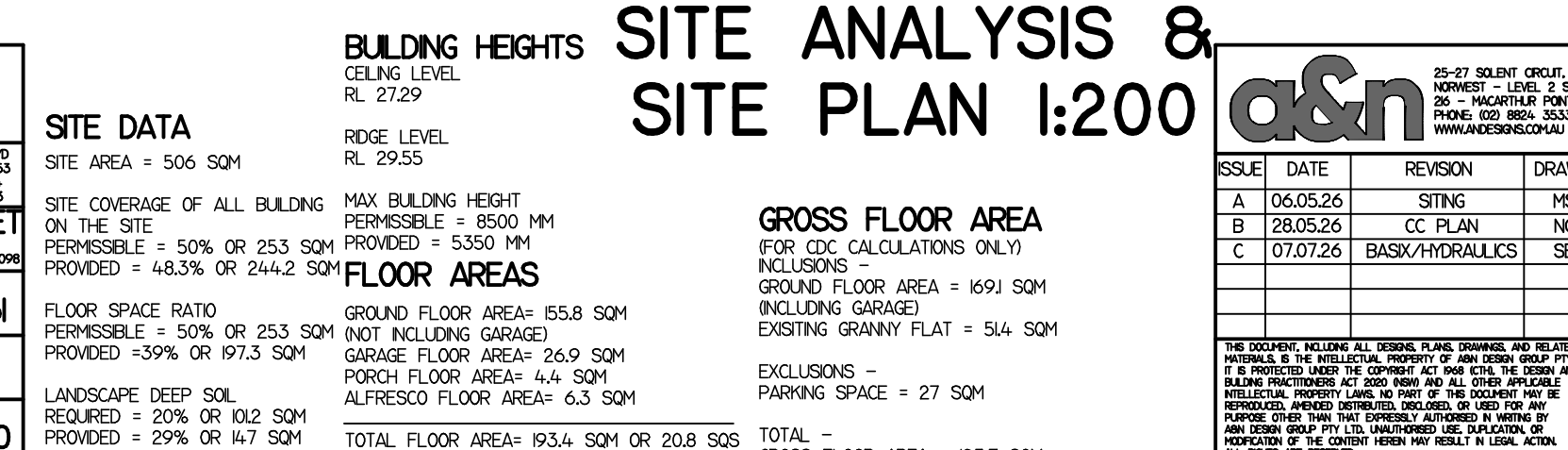
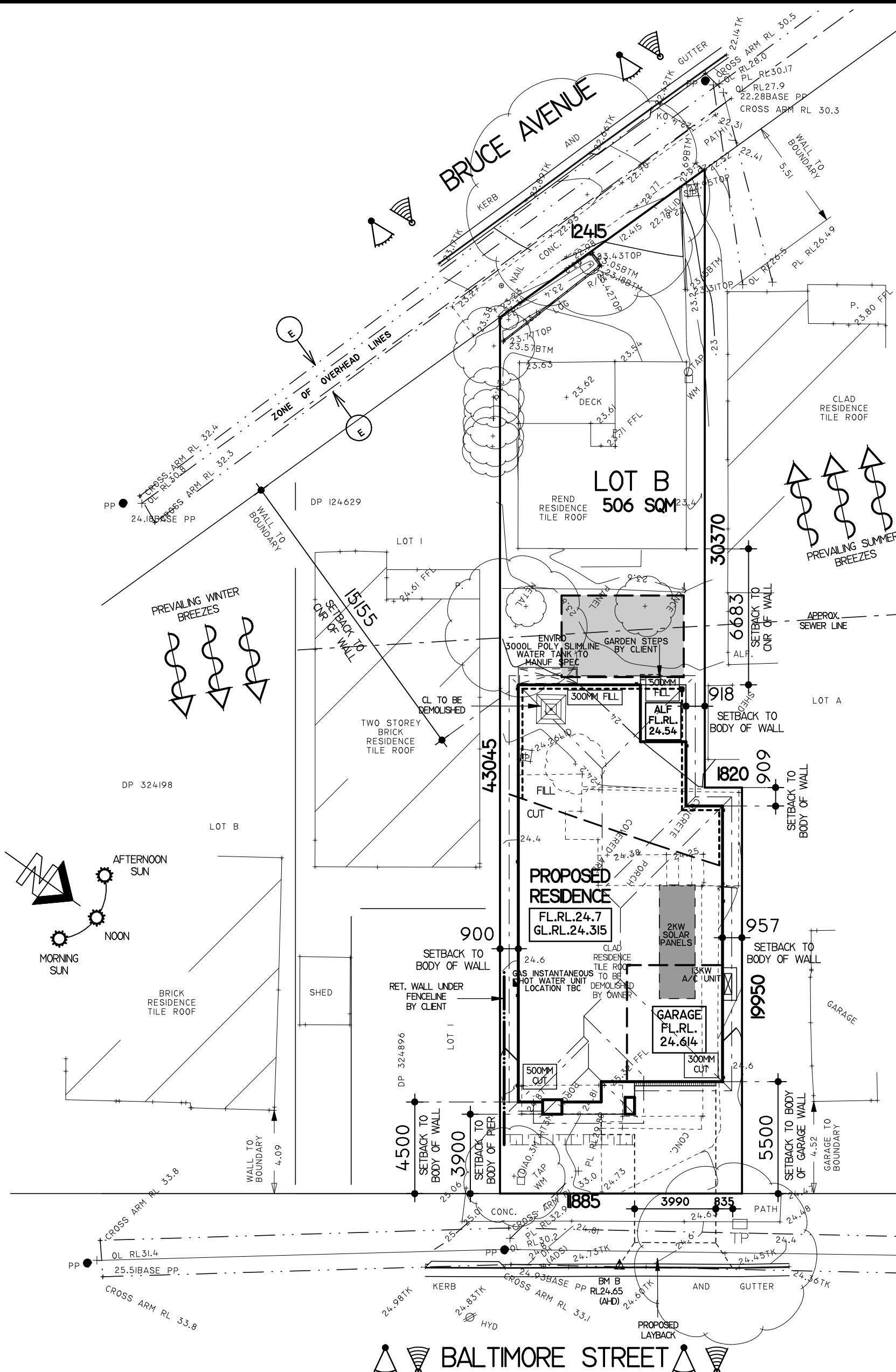
ALL KITCHEN AND JOINERY ELEMENTS SHOWN ON PLANS ARE TO BE USED AS A GUIDE ONLY. FINAL DESIGN, SELECTIONS AND SIZES TO BE AS PER JOINERY PLANS PREPARED BY OTHERS. ANY DISCREPANCIES ARE TO BE CHECKED AND VERIFIED BY BUILDER PRIOR TO COMMENCING CONSTRUCTION.

SITE CLASSIFICATION H

CUT AND FILL HOUSE PLATFORM APPROXIMATELY TO RL 24.315 GARAGE TO RL 24.315

HOUSE FLOOR LEVEL RL 24.7. 385MM ABOVE PLATFORM LEVEL. GARAGE FLOOR LEVEL APPROX. RL 24.64. 299MM ABOVE PLATFORM LEVEL

ROOF AREA: 222.2 SQM



		TOP OF KERB LEVEL 4, 2 BURBANK PLACE NORWEST NSW 2653 TEL: (02) 8859 5700	
FOR	MR. S. E. M & MRS. K. A. BAK	UBD/SYD MAP/253 REV/54 REFF/13	
LOT B, 8 BALTIMORE STREET		BELFIELD DP344098	
TYPE	MIDLAND 2I	JOB NO. 0030161	
FACADE	KIRRA (ADVANTAGE SERIES)	HAND RH	
MASTER AND-30703	DWG NO. AND-42793	PAGE NO. 1 OF 10	



25-27 SOLVENT CROUT,
NORWEST - LEVEL 2 SUITE
266 - MACARTHUR POINT
PHONE: (02) 8824 3533
WWW.ANDESIGNS.COM.AU

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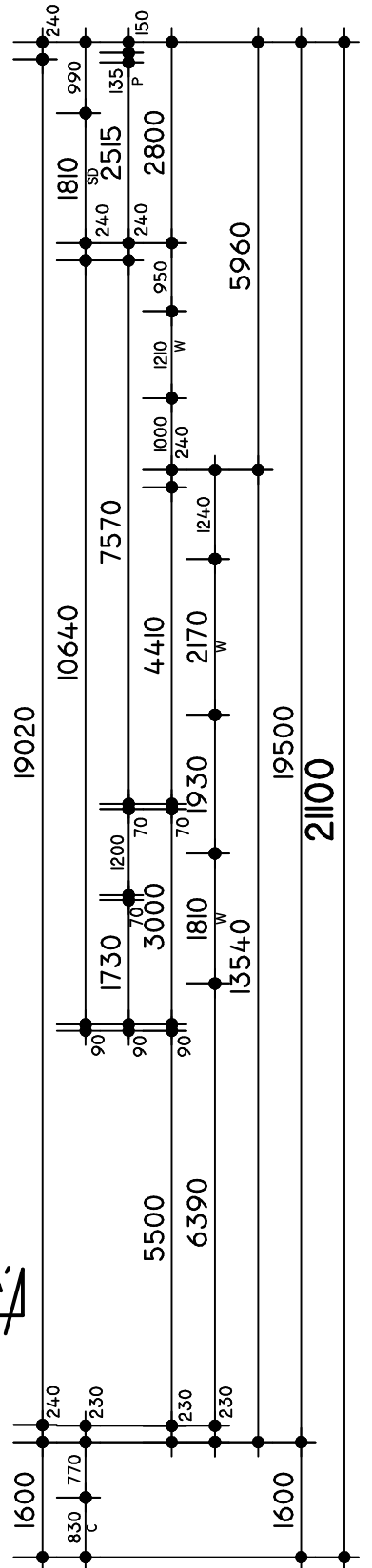
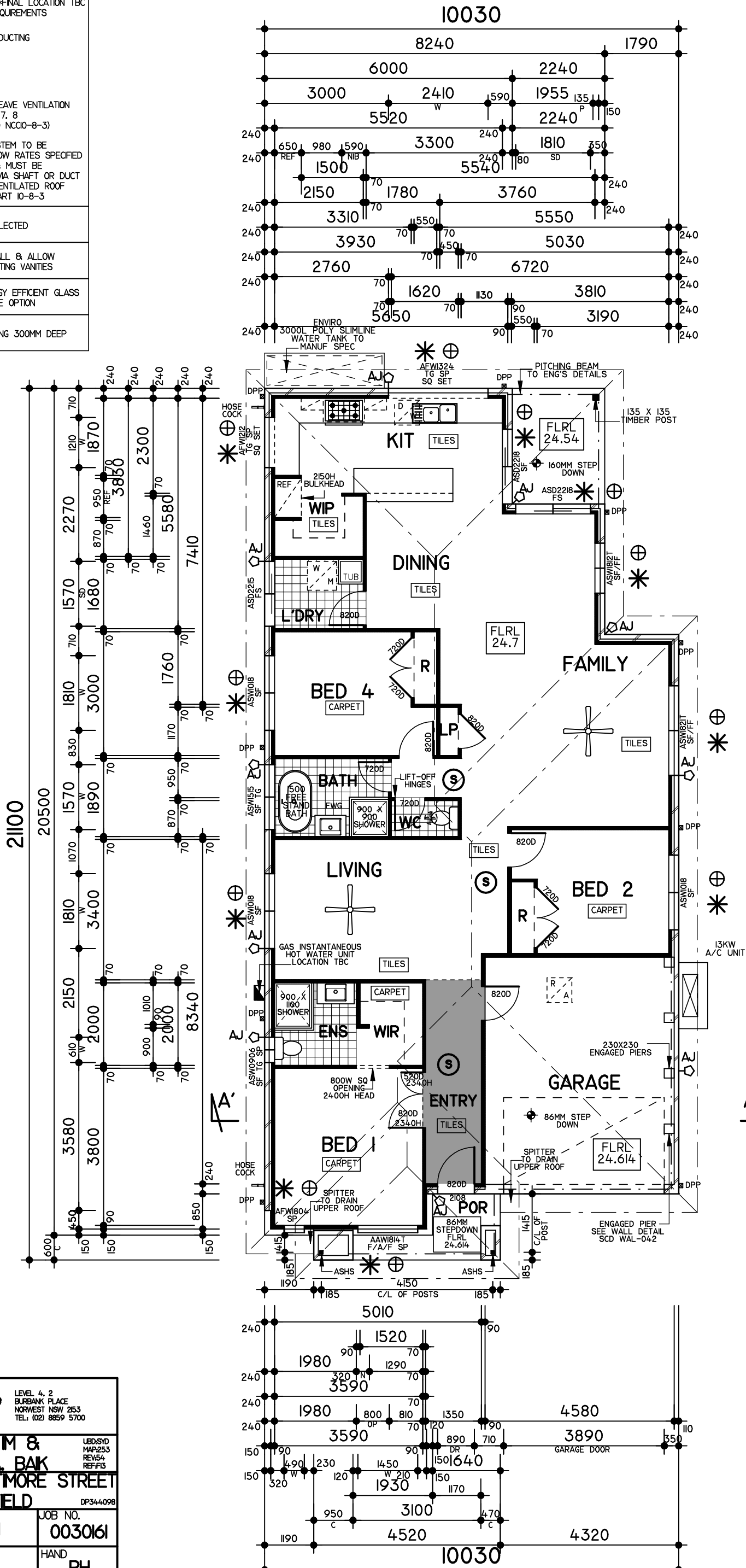
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LEGEND

- SMOKE ALARM *FINAL LOCATION SUBJECT TO NCC REQUIREMENTS
- ARTICULATION JOINTS *FINAL LOCATION TBC TO ENGINEERS/NCC REQUIREMENTS
- KEEP CLEAR FOR AC DUCTING
- AIR CONDITIONER DUCT
- 200MM X 400MM EAVE VENTILATION (CLIMATE ZONE 6, 7, 8 IN ACCORDANCE TO NCC10-8-3)
- DENOTES EXHAUST SYSTEM TO BE INSTALLED AS PER FLOW RATES SPECIFIED IN NCC PART 10-8-2 & MUST BE DISCHARGED DIRECTLY VIA SHAFT OR DUCT TO OUTDOOR AIR OR VENTILATED ROOF SPACE AS PER NCC PART 10-8-3
- DOUBLE GLAZING AS SELECTED
- DRAINAGE POINTS THROUGH WALL & ALLOW ADDITIONAL BRACING FOR FLOATING VANITIES
- PROVIDE STEGBAR ENERGY EFFICIENT GLASS (LOW-E CLEAR) UPGRADE OPTION
- DENOTES RAISED CEILING 300MM DEEP

NCC NOTES

- FACILITIES**
(DEEMED TO SATISFY PROVISION H4D5)
FACILITIES TO BE PROVIDED IN ACCORDANCE TO PART 10.4.1 TO 10.4.2 OF HOUSING PROVISIONS OF THE NCC
- WET AREA WATERPROOFING**
(H400) WET AREA FLASHING TO MEET CLAUSES 10.2.1 TO 10.2.6 AND 10.2.12 OF ABCB HOUSING PROVISIONS OF NCC 2022
- CONDENSATION MANAGEMENT**
(DEEMED TO SATISFY PROVISION H4D9)
CONDENSATION MANAGEMENT SYSTEMS TO BE INSTALLED IN ACCORDANCE WITH 10.8.1 TO 10.8.3 OF HOUSING PROVISIONS OF THE NCC
- EXTERNAL WALL CONSTRUCTION**
PLIABLE BUILDING MEMBRANE IN EXTERNAL WALL: TO COMPLY WITH AS4200.1 & INSTALLED IN ACCORDANCE WITH AS4200.2 PLIABLE BUILDING MEMBRANE TO MEET CLIMATE ZONE 5 OR 6
- VENTILATION**
(DEEMED TO SATISFY PROVISION H4D7)
VENTILATION TO BE PROVIDED IN ACCORDANCE WITH PART 10.6.1 TO 10.6.3 OF HOUSING PROVISIONS OF THE NCC
- VENTILATION OF ROOF SPACES**
IN CLIMATE ZONES 6, 7 AND 8, A ROOF MUST BE IN ACCORDANCE WITH PART 10.8.3 OF HOUSING PROVISIONS OF THE NCC
- WINDOW PROTECTION**
WINDOW PROTECTION TO BEDROOMS & TO OTHER ROOMS OTHER THAN BEDROOMS TO BE IN ACCORDANCE TO HOUSING PROVISION 11-3-7 TO 11-3-8 OF NCC



heden brae homes

LEVEL 4, 2
BURBANK PLACE
NORWEST NSW 2553
TEL: (02) 8859 5700

FOR **MR. S. E. M & MRS. K. A. BAK**

LOT B, 8 BALTIMORE STREET
BELFIELD

AT **MIDLAND 21**

TYPE **KIRRA (ADVANTAGE SERIES)**

MASTER **AND-30703**

UDDSYD
MAP253
REV54
REF13

JOB NO. **0030161**

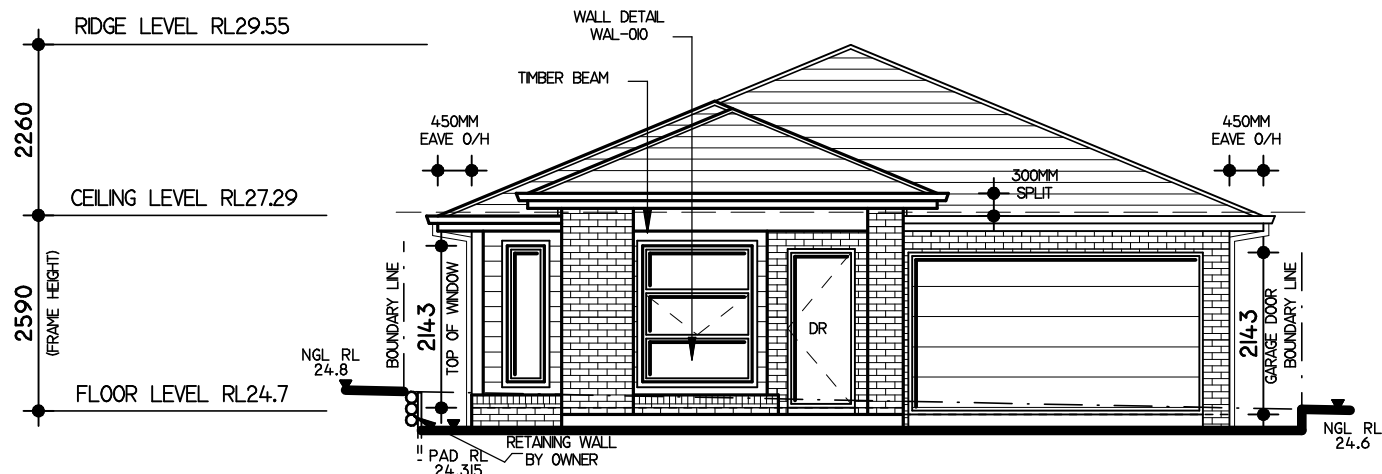
HAND **RH**

PAGE NO. **2 OF 10**

DP344098

a&n			
25-27 SOLENT CIRCUIT, NORWEST - LEVEL 2 SUITE 26 - MACARTHUR POINT PHONE: (02) 8824 3533 WWW.ANDESIGNS.COM.AU			
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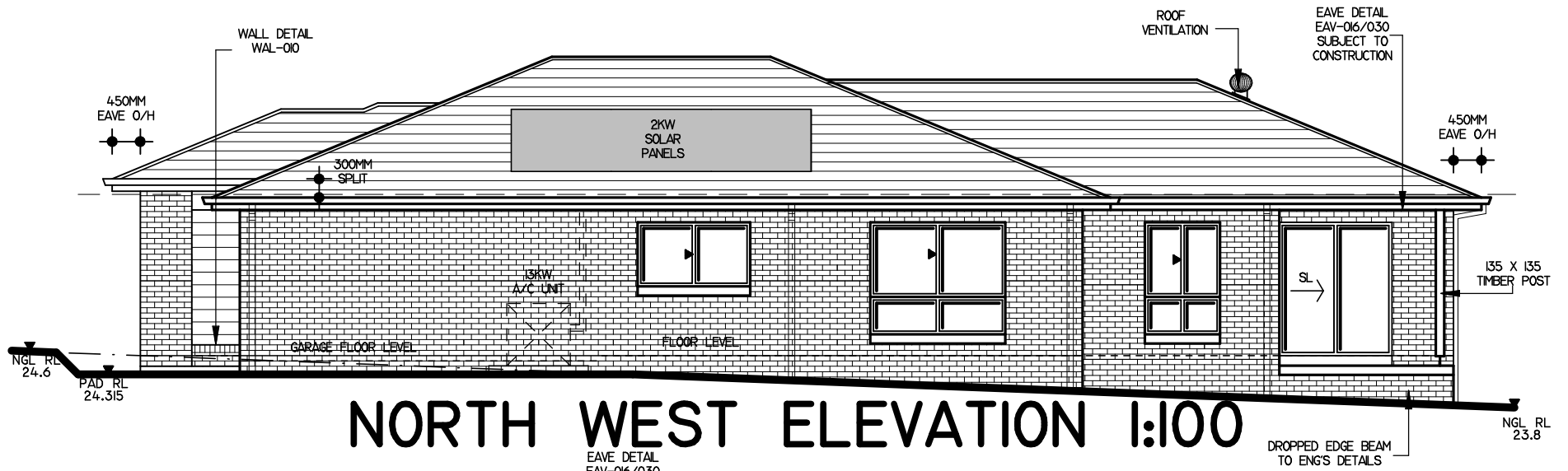
FLOOR PLAN 1:100



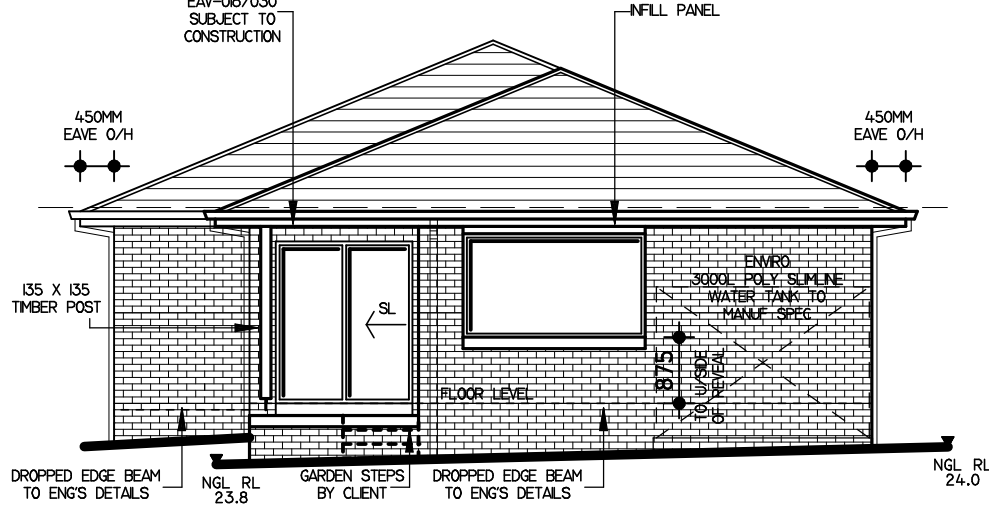
NORTH EAST ELEVATION 1:100



NORTH WEST ELEVATION 1:100



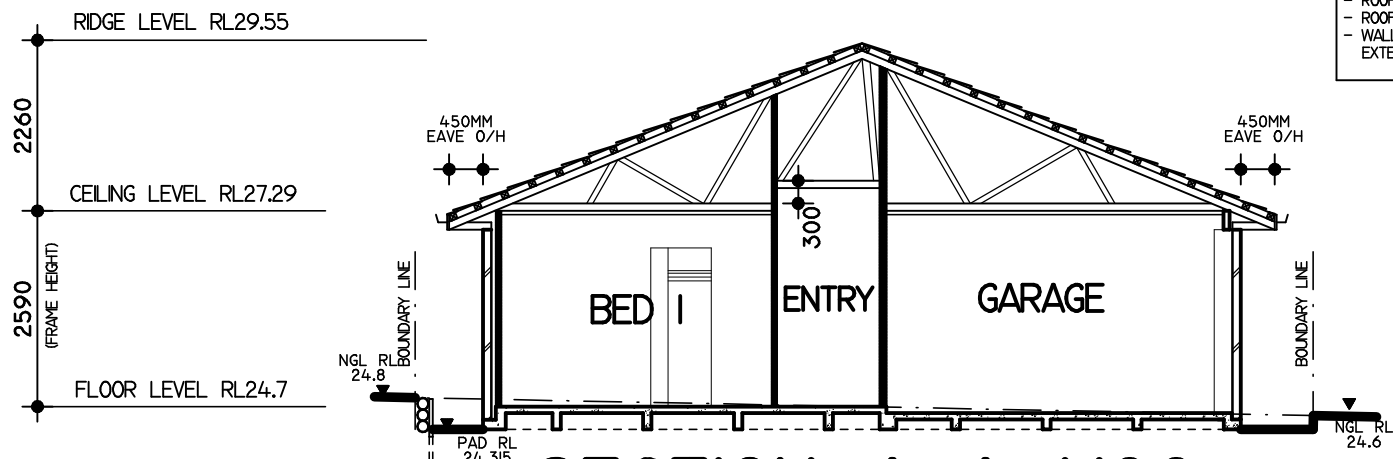
NORTH WEST ELEVATION 1:100



SOUTH WEST ELEVATION 1:100

heden brae homes LEVEL 4, 2 BURBANK PLACE NORWEST NSW 2153 TEL: (02) 8859 5700	
FOR	MR. S. E. M & MRS. K. A. BAK
LOT B, 8 BALTIMORE STREET BELFIELD	UBD/SYD MAP/253 REV/54 REF/F13
AT	DP344098
TYPE	MIDLAND 21
FACADE	KIRRA (ADVANTAGE SERIES)
MASTER	DWG NO. AND-30703
	PAGE NO. 3 OF 10
	JOB NO. 0030161
	HAND RH

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NOTES

- ROOF SARKING
- ROOF INSULATION
- WALL WRAP TO EXTERNAL WALLS

SUMMARY OF MATERIALS

- 22.5° ROOF PITCH COLORBOND ROOF SHEETING
- COLORBOND GUTTER & FASCIA
- CHARGED PVC DOWNPIPES TO BE PAINTED
- PRE-FABRICATED FRAMES & ROOF TRUSSES TO MANUFACTURE DETAILS & SPECIFICATIONS
- DIMENSIONS ARE TO FRAME SIZES ONLY EXCLUDES GYPROCK & SKIRTINGS THEREFORE THEY ARE NOT FINISHED ROOM SIZES
- FACE BRICKWORK
- CLADDING FINISH AS SELECTED
- TIMBER BEAM TO BE PAINT GRADE
- TIMBER POSTS TO BE PAINT GRADE
- ALUMINIUM WINDOWS & DOORS
- FRONT ENTRY DOOR & FRAME TO BE PAINT GRADE
- SECTIONAL OVERHEAD GARAGE DOOR



LEVEL 4, 2
BURBANK PLACE
NORWEST NSW 2153
TEL: (02) 8859 5700

FOR
**MR. S. E. M &
MRS. K. A. BAK**
LOT B, 8 BALTIMORE STREET
AT
BELFIELD
TYPE
MIDLAND 2I
FACADE
KIRRA
(ADVANTAGE SERIES)
MASTER
AND-30703

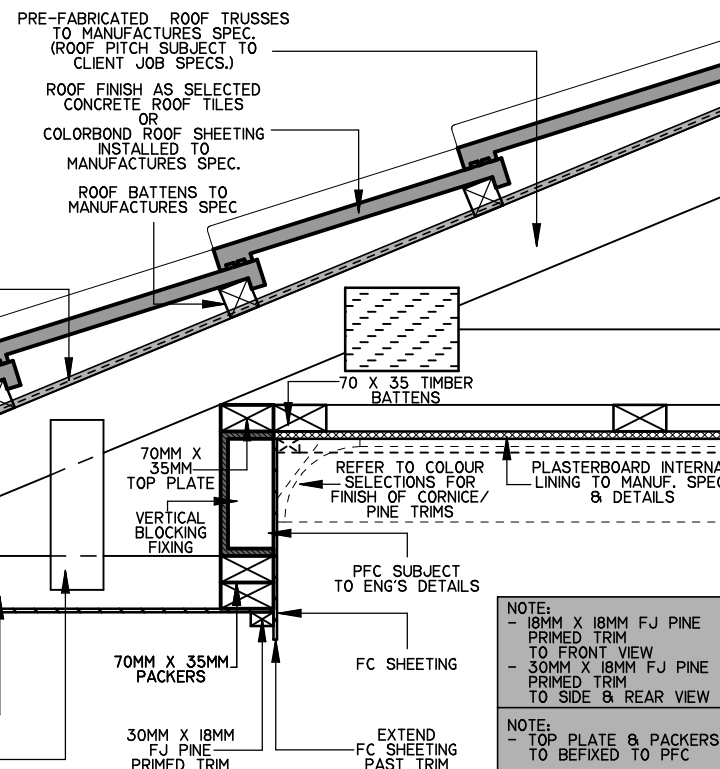
URB/SYD
MAP/253
REV/54
REF/F13
JOB NO.
0030161
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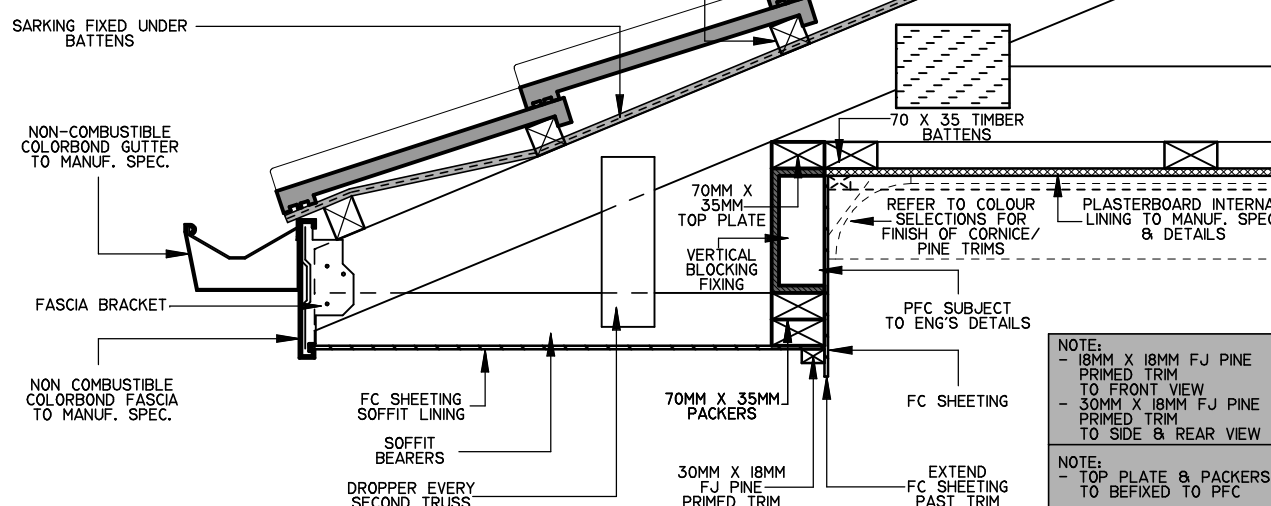
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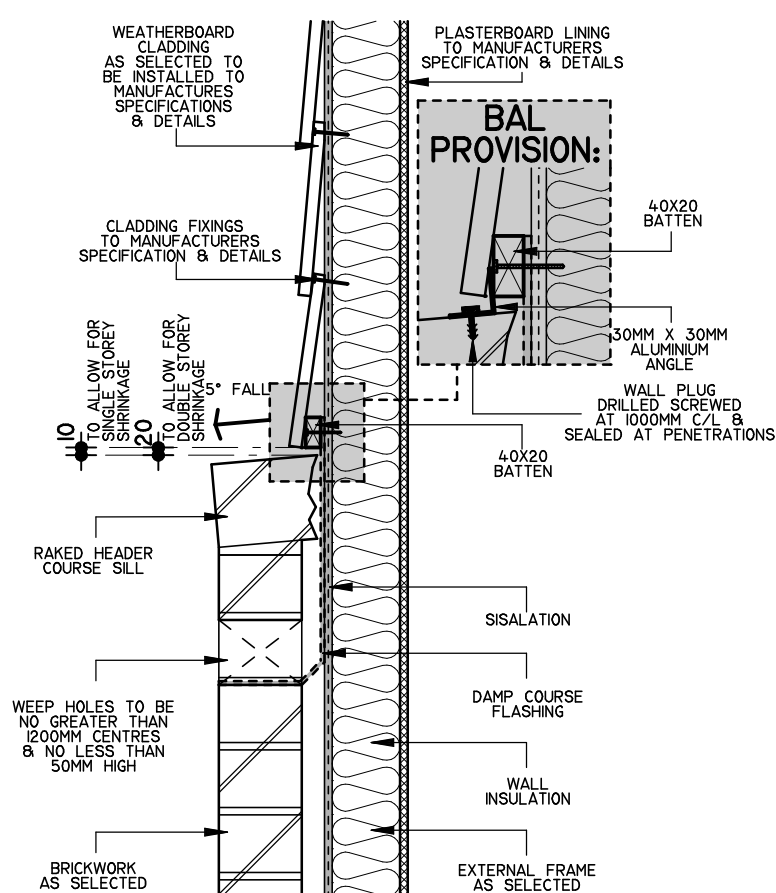
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EAVE WITH TIMBER PITCHING BEAM AS NOMINATED - EAV-016



EAVE WITH PFC PITCHING BEAM AS NOMINATED - EAV-030



WALL DETAIL WAL-010
TYPICAL BRICKWORK JUNCTION TO CLADDING

PROTECTED FROM ELEMENTS
(OVERHEAD COVER)

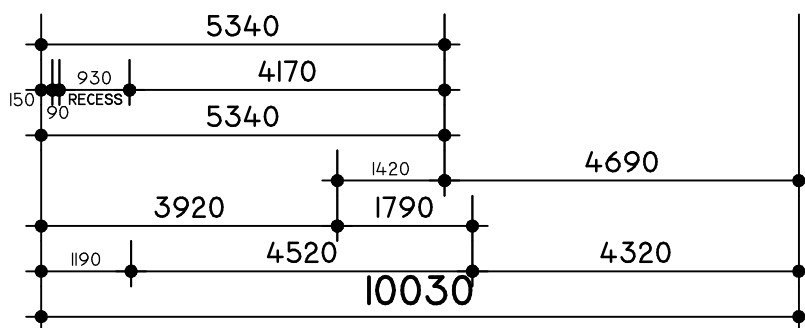
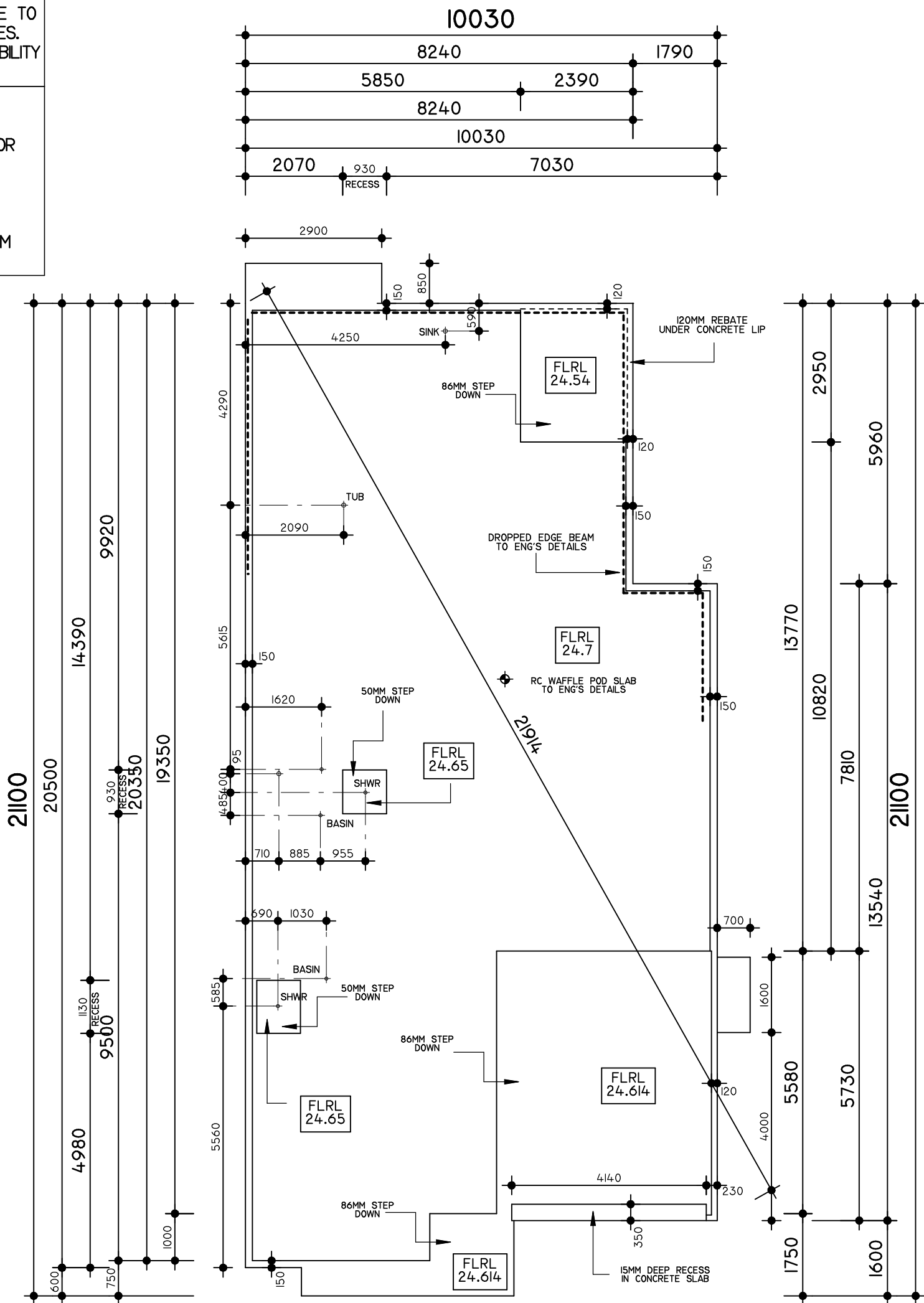
 Heden brae homes		LEVEL 4, 2 BURBANK PLACE NORTHMEY NSW 2553 TEL: (02) 8859 5700	
FOR	MR. S. E. M & MRS. K. A. BAK	UBD:SYD MAP:253 REV:54 REFF:15	
LOT B, 8 BALTIMORE STREET			
AT	BELFIELD	DP344096	
TYPE	MIDLAND 21	JOB NO.	0030161
FAÇADE	KIRRA (ADVANTAGE SERIES)	HAND	RH
MASTER AND-30703	DWG NO. AND-42793	PAGE NO.	5 OF 10

[illegible]

SLAB PLAN TO BE CROSS REFERENCED WITH FLOOR PLANS AND ENGINEERING PLANS. ANY DISCREPANCIES ARE TO BE VERIFIED BEFORE PROCEEDING ON SITE.

NOTE: CONSULTANTS/ CONTRACTORS/SUPPLIERS DRAINAGE POINTS ARE TO BE DETERMINED ON SITE BY PLUMBER WITH REFERENCE TO CHOSEN PLUMBING FIXTURES. A&N TAKES NO RESPONSIBILITY FOR ANY DISCREPANCIES

NOTE: CONSULTANTS/ CONTRACTORS/SUPPLIERS FINAL LOCATIONS OF FLOOR WASTES ARE TO BE DETERMINED ON SITE BY BUILDER/PLUMBER WITH CONSIDERATION OF NCC REQUIREMENTS OF MAXIMUM FALL TO FLOOR WASTES



SLAB FLOOR PLAN 1:100

LEVEL 4, 2
BURBANK PLACE
NORWEST NSW 253
TEL: (02) 8859 5700

FOR

MR. S. E. M &
MRS. K. A. BAK

LOT B, 8 BALTIMORE STREET
BELFIELD

AT

MIDLAND 21

TYPE

KIRRA
(ADVANTAGE SERIES)

MASTER

AND-30703

JOB NO.

0030161

HAND

RH

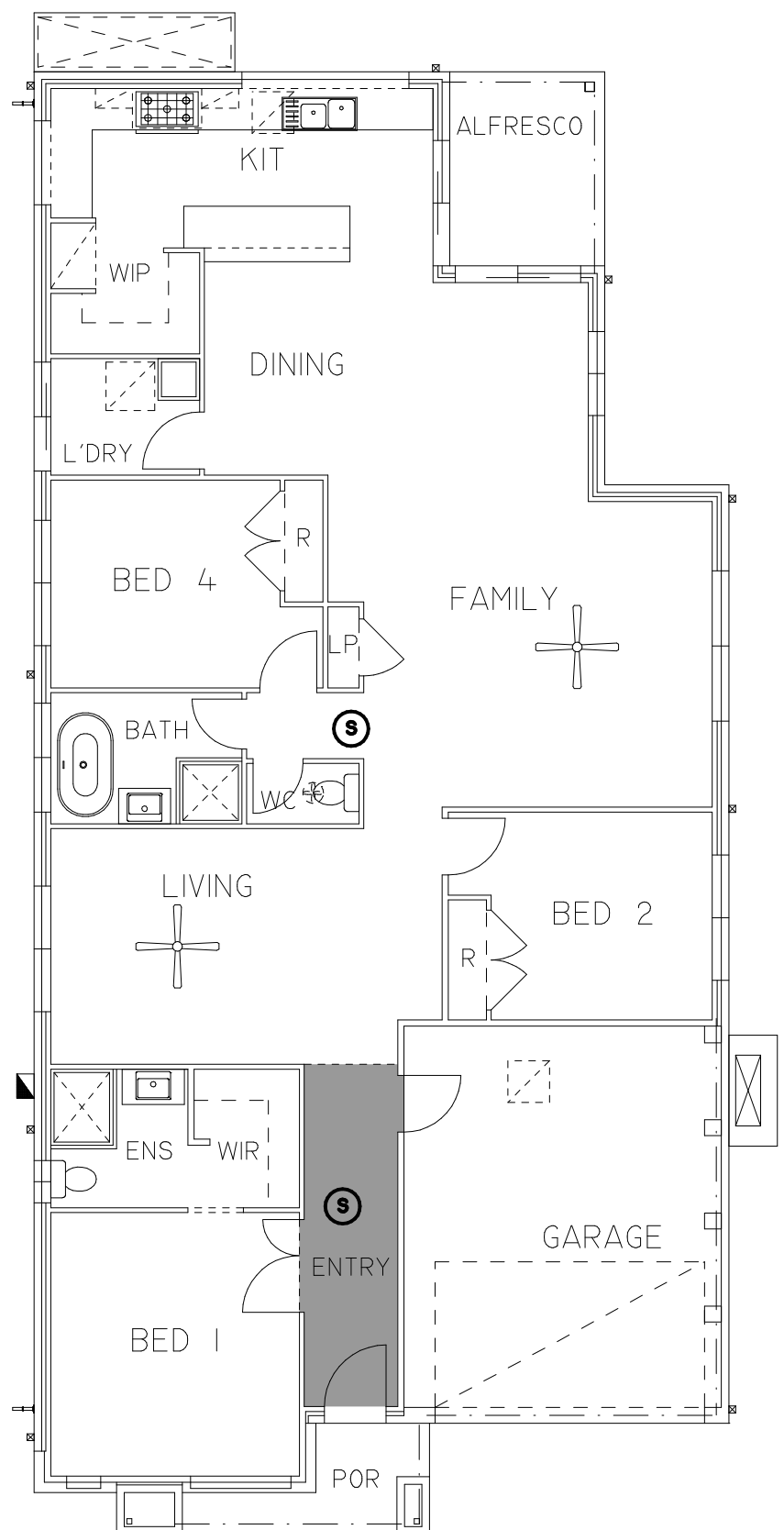
PAGE NO.

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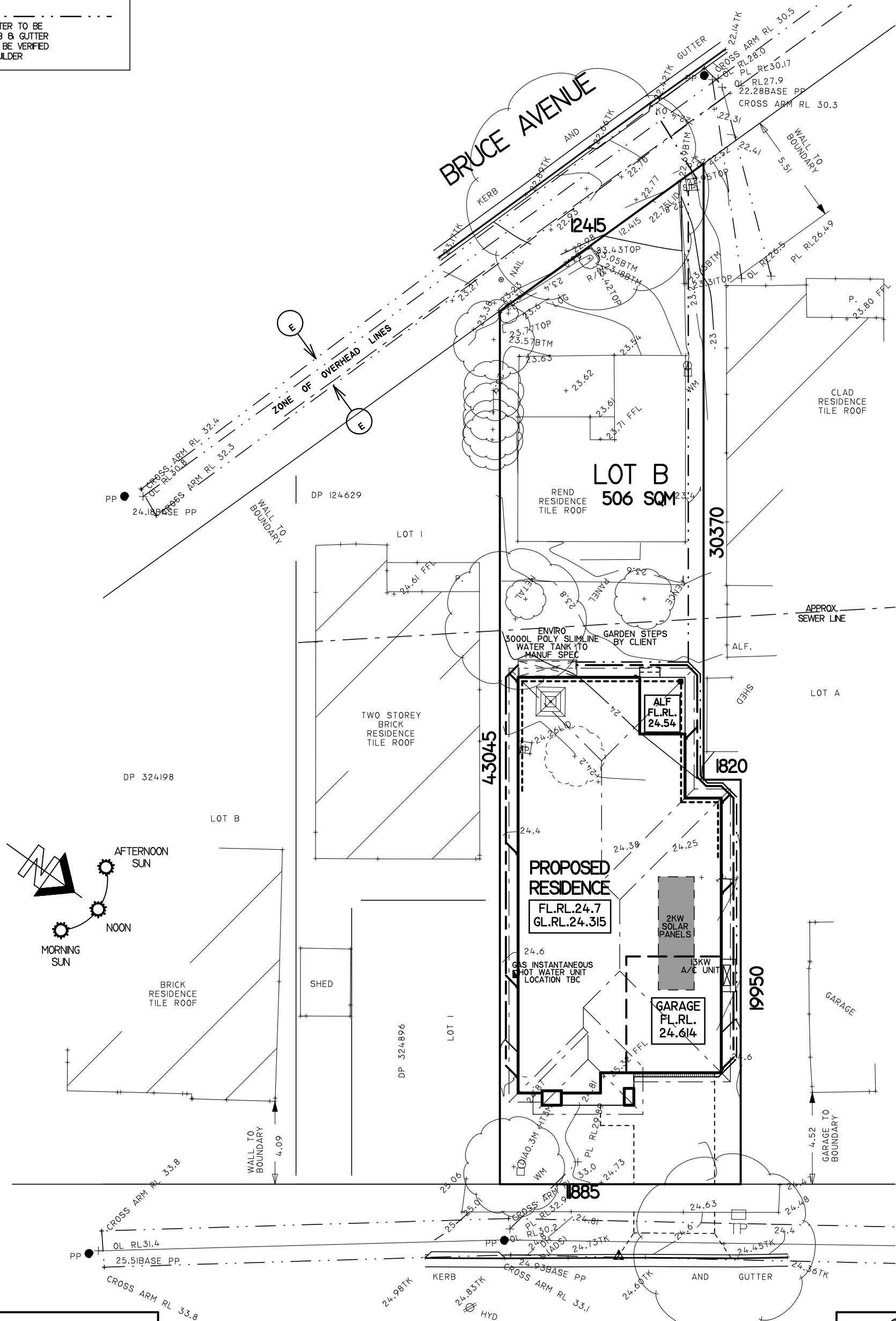
ELECTRICAL FLOOR PLAN 1:100

STORMWATER LEGEND

(TANK & KERB & GUTTER)

DENOTES STORMWATER TO BE DIRECTED INTO RAINWATER TANK FINAL LOCATION TO BE VERIFIED ON SITE BY THE BUILDER

DENOTES STORMWATER TO BE DIRECTED INTO KERB & GUTTER FINAL LOCATION TO BE VERIFIED ON SITE BY THE BUILDER



heden brae homes

LEVEL 4, 2
BURBANK PLACE
NORWEST NSW 2553
TEL: (02) 8859 5700

FOR	MR. S. E. M & MRS. K. A. BAK	LEDSYD MAP253 REV54 REF F13
AT	LOT B, 8 BALTIMORE STREET BELFIELD	DP344098
TYPE	MIDLAND 2I	JOB NO. 0030161
FACADE	KIRRA (ADVANTAGE SERIES)	HAND RH
MASTER	DWG NO. AND-30703	PAGE NO. 8 OF 10

BALTIMORE STREET

STORMWATER CONCEPT PLAN 1:200

a&n

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Diagram illustrating the correct installation of sandbags for flood protection:

- SANDBAGS OVERLAP ONTO KERB
- 2M MIN.
- DIRECTION OF FLOW
- GAP BETWEEN BAGS ACT AS SPILLWAY
- THREE LAYERS OF SANDBAGS WITH ENDS OVERLAPPED
- 0.6M

The diagram illustrates the installation of a geotextile filter fabric. It shows a cross-section of the ground with a grid-like fabric placed over a sloped area. Key components and labels include:

- WIRE OR STEEL MESH:** A vertical line representing the mesh structure.
- DISTURBED GROUND:** The area above the fabric where erosion is occurring or likely.
- GEOTEXTILE FILTER FABRIC:** The grid-like material used for stabilization.
- 3M MAX.:** A dimension indicating the maximum length of the fabric sections.
- DIRECTION OF FLOW:** An arrow pointing to the left, indicating the direction of water flow.
- UNDISTURBED GROUND:** The stable ground area below the fabric.
- POSTS DRIVEN 500MM TO 700MM INTO GROUND:** Vertical posts securing the fabric to the ground.
- Dimensions:** A vertical dimension of **.50M** is shown on the left, and a horizontal dimension of **20M** is shown at the bottom left.

ALL EROSION AND SEDIMENTATION CONTROL MEASUREMENTS, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF N.S.W.

ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AROUND AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT

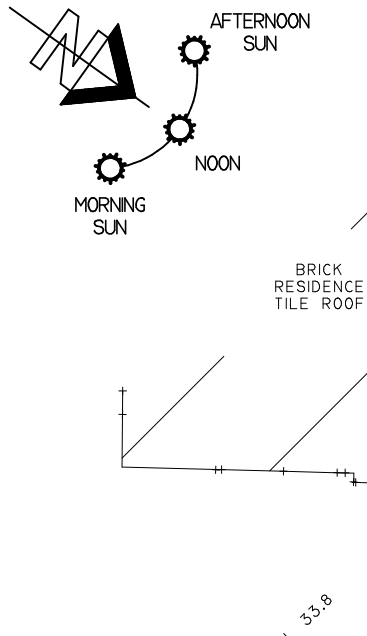
SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300MM WIDE X 300MM DEEP TRENCH.

ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF MATERIALS, INCLUDING THE MAINTENANCE PERIOD

ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.

SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.

FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 2M CENTRES). FABRIC SHALL BE BURIED 50MM ALONG ITS LOWER EDGE.



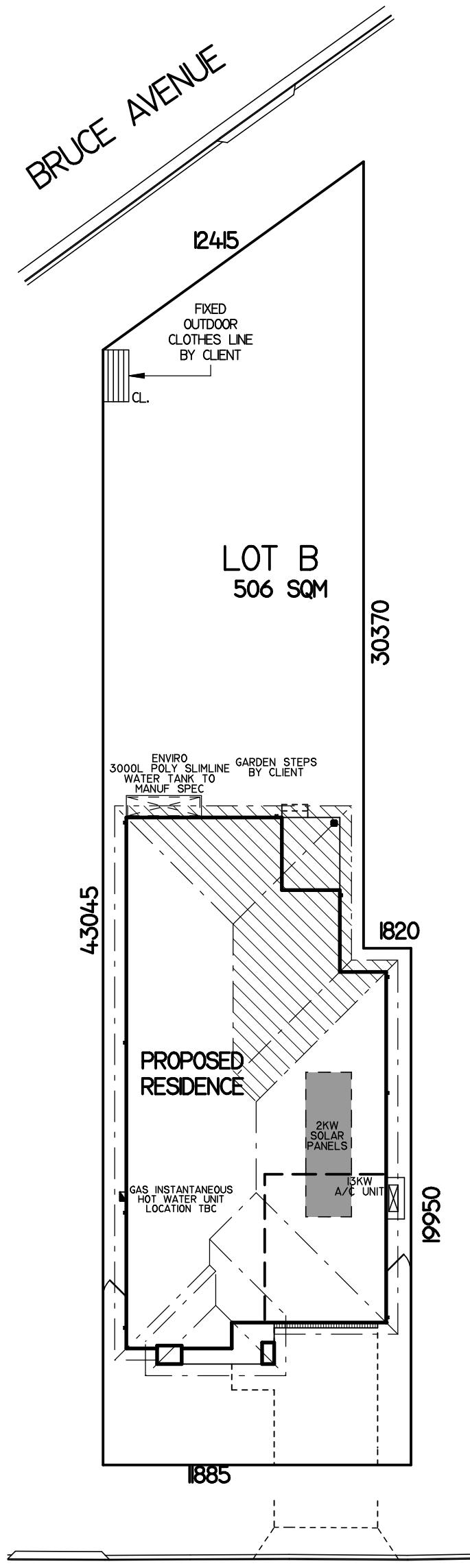
SITE SEDIMENT CONTROL PLAN 1:200



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BALTIMORE STREET
BASIX PLAN 1:200

DENOTES 60 SQM OF ROOF TO BE COLLECTED

(BASIX CERTIFICATE NUMBER: 1851957S)

STORMWATER / WATER

SHOWERHEADS:
THE APPLICANT MUST INSTALL SHOWERHEADS WITH A MINIMUM RATING OF 3 STAR (>7.5 BUT <=9L/MIN) IN ALL SHOWERS IN THE DEVELOPMENT

TOILETS:
THE APPLICANT MUST INSTALL A TOILET FLUSHING SYSTEM WITH A MINIMUM RATING OF 3 STAR IN EACH TOILET IN THE DEVELOPMENT.

TAP FITTINGS:
THE APPLICANT MUST INSTALL TAPS WITH A MINIMUM FLOW RATE OF 3 STAR IN THE KITCHEN IN THE DEVELOPMENT.

THE APPLICANT MUST INSTALL BATHROOM TAPS (OTHER THAN SHOWERHEADS) WITH A MINIMUM FLOW RATE OF 3 STAR IN EACH BATHROOM IN THE DEVELOPMENT

COLLECTION OF RAINWATER & STORMWATER:
RAINWATER TANK:
THE APPLICANT MUST INSTALL A RAINWATER TANK ON THE SITE. THE RAINWATER TANK MUST MEET, AND BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE REGULATORY AUTHORITIES

THE RAINWATER TANK MUST HAVE A CAPACITY OF AT LEAST 3000 LITRES.

THE APPLICANT MUST CONFIGURE THE RAINWATER TANK TO COLLECT RUNOFF FROM AT LEAST 60 SQM OF THE ROOF AREA OF THE DWELLING

THE APPLICANT MUST CONNECT THE RAINWATER TANK TO ALL THE TOILETS IN THE DEVELOPMENT, SO THAT RAINWATER CAN BE USED FOR TOILET FLUSHING.

THE APPLICANT MUST CONNECT THE RAINWATER TANK TO THE COLD WATER TAP THAT SUPPLIES EACH CLOTHES WASHING MACHINE IN THE DEVELOPMENT, SO THAT RAINWATER CAN BE USED FOR CLOTHES WASHING.

THE APPLICANT MUST CONNECT THE RAINWATER TANK TO A LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT SO THAT RAINWATER CAN BE USED TO IRRIGATE VEGETATED AREAS OF THE SITE.

ENERGY

HOT WATER:
THE APPLICANT MUST INSTALL THE FOLLOWING HOT WATER SYSTEM IN THE DEVELOPMENT:
GAS INSTANTANEOUS - 6 STARS. (OR ONE WITH A HIGHER STAR RATING)

ACTIVE COOLING:
THE APPLICANT MUST INSTALL THE FOLLOWING COOLING SYSTEM/S IN THE DEVELOPMENT, OR SYSTEM/S WITH A HIGHER ENERGY RATING: 1 LIVING AREA: 3 PHASE AIRCONDITIONING: ENERGY RATING: EER 3.0 - 3.5, 1 BEDROOM: 3 PHASE AIRCONDITIONING: ENERGY RATING: EER 3.0 - 3.5

ACTIVE HEATING:
THE APPLICANT MUST INSTALL THE FOLLOWING HEATING SYSTEM/S IN THE DEVELOPMENT, OR SYSTEM/S WITH A HIGHER ENERGY RATING: 1 LIVING AREA: 3 PHASE AIRCONDITIONING: ENERGY RATING: EER 3.5 - 4.0, 1 BEDROOM: 3 PHASE AIRCONDITIONING: ENERGY RATING: EER 3.5 - 4.0

VENTILATION:
THE APPLICANT MUST INSTALL THE FOLLOWING EXHAUST SYSTEMS IN THE DEVELOPMENT:
AT LEAST 1 BATHROOM: INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF: OPERATION CONTROL: MANUAL SWITCH ON/OFF
KITCHEN: INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF: OPERATION CONTROL: MANUAL SWITCH ON/OFF
LAUNDRY: NATURAL VENTILATION ONLY, OR NO LAUNDRY: OPERATION CONTROL: N/A

NATURAL LIGHTING:
THE APPLICANT MUST INSTALL A WINDOW AND/OR SKYLIGHT IN 2 BATHROOM(S)/TOILET(S) IN THE DEVELOPMENT FOR NATURAL LIGHTING.

THE APPLICANT MUST INSTALL A WINDOW AND/OR SKYLIGHT IN THE KITCHEN OF THE DWELLING FOR NATURAL LIGHTING

ARTIFICIAL LIGHTING:
THE APPLICANT MUST ENSURE THAT A MINIMUM OF 80% OF LIGHT FIXTURES ARE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTINGDIODE (LED) LAMPS.

ALTERNATIVE ENERGY:
THE APPLICANT MUST INSTALL A PHOTOVOLTAIC SYSTEM AS PART OF THE DEVELOPMENT. THE APPLICANT MUST CONNECT THIS SYSTEM TO THE DEVELOPMENT'S ELECTRICAL SYSTEM.
THE PHOTOVOLTAIC SYSTEM MUST CONSIST OF:
- PHOTOVOLTAIC COLLECTORS WITH THE CAPACITY TO GENERATE AT LEAST 2 PEAK KILOWATTS OF ELECTRICITY, INSTALLED AT AN ANGLE BETWEEN 10 DEGREES AND 25 DEGREES TO THE HORIZONTAL FACING NORTH WEST

COOKING:
THE APPLICANT MUST INSTALL A GAS COOKTOP & ELECTRIC OVEN IN THE KITCHEN OF THE DWELLING.

OTHER:
THE APPLICANT MUST INSTALL A FIXED OUTDOOR CLOTHES DRYING LINE AS PART OF THE DEVELOPMENT

THERMAL COMFORT

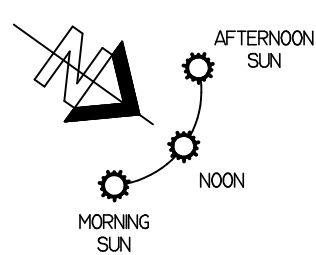
THE APPLICANT MUST CONSTRUCT THE DEVELOPMENT IN ACCORDANCE WITH THE REQUIREMENTS SET OUT IN THE ASSESSOR CERTIFICATE N° 0013089610 AND IN ACCORDANCE WITH THOSE ASPECTS OF THE DEVELOPMENT APPLICATION OR APPLICATION FOR COMPLYING DEVELOPMENT CERTIFICATE WHICH WERE USED TO CALCULATE THE VALUES SHOWN IN THE ASSESSOR CERTIFICATE N° 0013089610

INSULATION

R2.5 WALL INSULATION (INCLUDING INTERNAL WALLS TO GARAGE)
R2.5 CEILING INSULATION (EXCLUDING GARAGE & ALFRESCO)
R6.0 CEILING INSULATION (EXCLUDING GARAGE & ALFRESCO)

BASIX SCORE

WATER - 40% (TARGET 40%)
THERMAL COMFORT - PASS (TARGET PASS)
ENERGY - 89% (TARGET 72%)
MATERIALS - -89% (TARGET N/A)



REFER TO BASIX CERTIFICATE FOR FULL THERMAL COMFORT COMMITMENTS

LEVEL 4, 2
BURBANK PLACE
NORWEST NSW 2553
TEL: (02) 8859 5700

FOR

MR. S. E. M &
MRS. K. A. BAK

LOT B, 8 BALTIMORE STREET
BELFIELD

AT

MIDLAND 21

KIRRA
(ADVANTAGE SERIES)

TYPE

DP344098

HAND
RH

MASTER

DWG NO.
AND-30703

PAGE NO.
AND-42793
10 OF 10

JOB NO.
0030161

25-27 SOLENT CIRCUIT,
NORWEST - LEVEL 2 SUITE
26 - MACARTHUR POINT
PHONE: (02) 8824 3533
WWW.ANDESIGNS.COM.AU

ISSUE	DATE	REVISION	DRAWN
A	06.05.26	SITING	MS
B	28.05.26	CC PLAN	NC
C	07.07.26	BASIX/HYDRAULICS	SB

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